



Castles

ST. MARYS GLEBE
Edlesborough, LU6 2RB

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£775,000
(Freehold)

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This spacious detached property offers fabulous kerb appeal and a keen sense of style



The light and airy home starts with the large, block-paved, driveway which can accommodate a number of vehicles while also being pleasing to the eye.

The entrance into a porch and then an inviting hallway immediately creates a sense of welcome and comfort – leading into a generous sized areas including a dining room, living room, kitchen/breakfast and utility room. A downstairs shower room adding further flexibility to this already highly desirable house with the potential of downstairs living if required.

This four-bedroom home with an integral garage has a shapely design with plenty of space for day to day living, entertaining and more. The high-end fixtures and fittings of the kitchen include a double sized oven and hob, beautiful floor tiles and a breakfast area – while designer wooden flooring and bay windows add further 'wow' factors along the way.

The large living room with its feature fireplace provides access through double doors to the garden, which has its extensive paved patio area, lawn, mature buildings, an outbuilding and plenty of fencing and mature planting to ensure year-round privacy.

There are four large bedrooms, one being en-suite and with its own walk-in wardrobe. The others, also generous in terms of space, are all served by a light, airy and well-equipped family bathroom with a separate shower facility.

Add a utility room and integrated garage and there is a plenty of space for storage, hobbies and more. The only choice will be what to do with all the space!

Specifications

- 4 BEDROOMS
- 2 RECEPTION ROOMS
- 3 BATHROOMS
- DETACHED HOUSE
- GARDEN
- DRIVEWAY
- GARAGE
- VILLAGE LOCATION



This property is full of appeal with many unique features and areas and designs of interest



A little about the corner of the world we call home...

We are lucky to be situated on the borders of Bedfordshire and Buckinghamshire, with views of the area which extend from Eaton Bray into the parish of Edlesborough and outlying villages.

The name 'Eaton' derives from the old English 'eitone', meaning 'farm by a river'. In the Domesday Book it was listed just as Eitone while 'Bray' comes from Sir Reginald Bray and the family that once owned the manor located at what is today 'Park Farm'. At one time Eaton Bray had a moated castle at the farm and what remains of it is now open to the public for fishing.

The village also houses the 'Coffee Tavern' which was built by a teetotal vicar of the parish to encourage the villagers out of the local public houses and was financed by the Wallace family known for their nurseries which grew famous carnations. Many of the roads in the area are named after them.

Edlesborough is next to Eaton Bray, just over the county boundary in Bedfordshire – about 3 miles (5 km) west-south-west of Dunstable. It offers easy commuting with train

travel times from nearby Cheddington to London Euston around 45 minutes. Luton Airport is just over 8 miles away.

There are also good education opportunities with the Eaton Bray and Edlesborough Academies nearby for primary schooling while the area is within the catchment for a number of good secondary schools.

As well as the village of Edlesborough itself, the civil parish also includes the hamlets of Dagnall, Northall and part of Ringshall. Hudnall was transferred in 1885 to the parish of Little Gaddesden in Hertfordshire. Other villages in the area include Totternhoe, Slapton, Northall, Whipsnade – famous for its zoo-, Studham and Invinghoe Aston.

All offer the benefits of a semi-rural environment with close proximity to a wide range of facilities. There are many areas of natural beauty and open spaces such as the Dunstable Downs and Gateway Centre and Mead Open Farm.

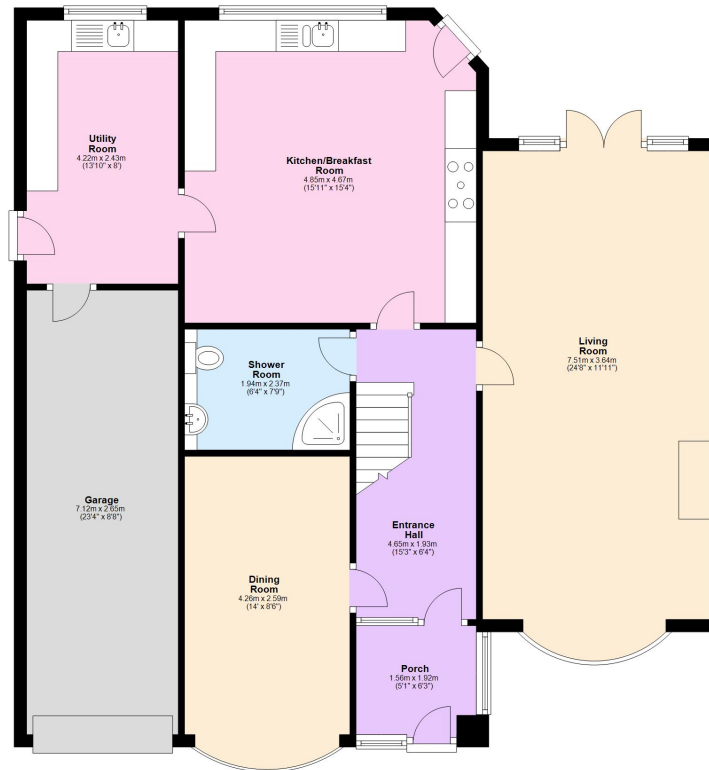
With close proximity to larger towns such as Berkhamsted, Tring, Luton, St Albans and Milton Keynes the areas around Eaton Bray mix the convenience of modern living with the benefits of semi-rural living.

Please Note:

We have not tested any apparatus, fixtures, fittings or services. Interested parties must undertake their own investigation into the working order of these items.

All measurements are approximate and photographs provided are for guidance only.

Ground Floor
Approx. 110.8 sq. metres (1192.3 sq. feet)



First Floor
Approx. 97.0 sq. metres (1044.5 sq. feet)



Tenure: Freehold
Council Tax Band: G
EPC Rating: D

Total area: approx. 207.8 sq. metres (2236.9 sq. feet)

This floorplan is not to scale. It's for guidance only and accuracy is not guaranteed.
Plan produced using PlanUp.

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